

# WILSON BUILDING SECOND FLOOR OFFICE RENOVATION

971 WILSON ROAD  
RIVERDALE, GEORGIA 30296



BY

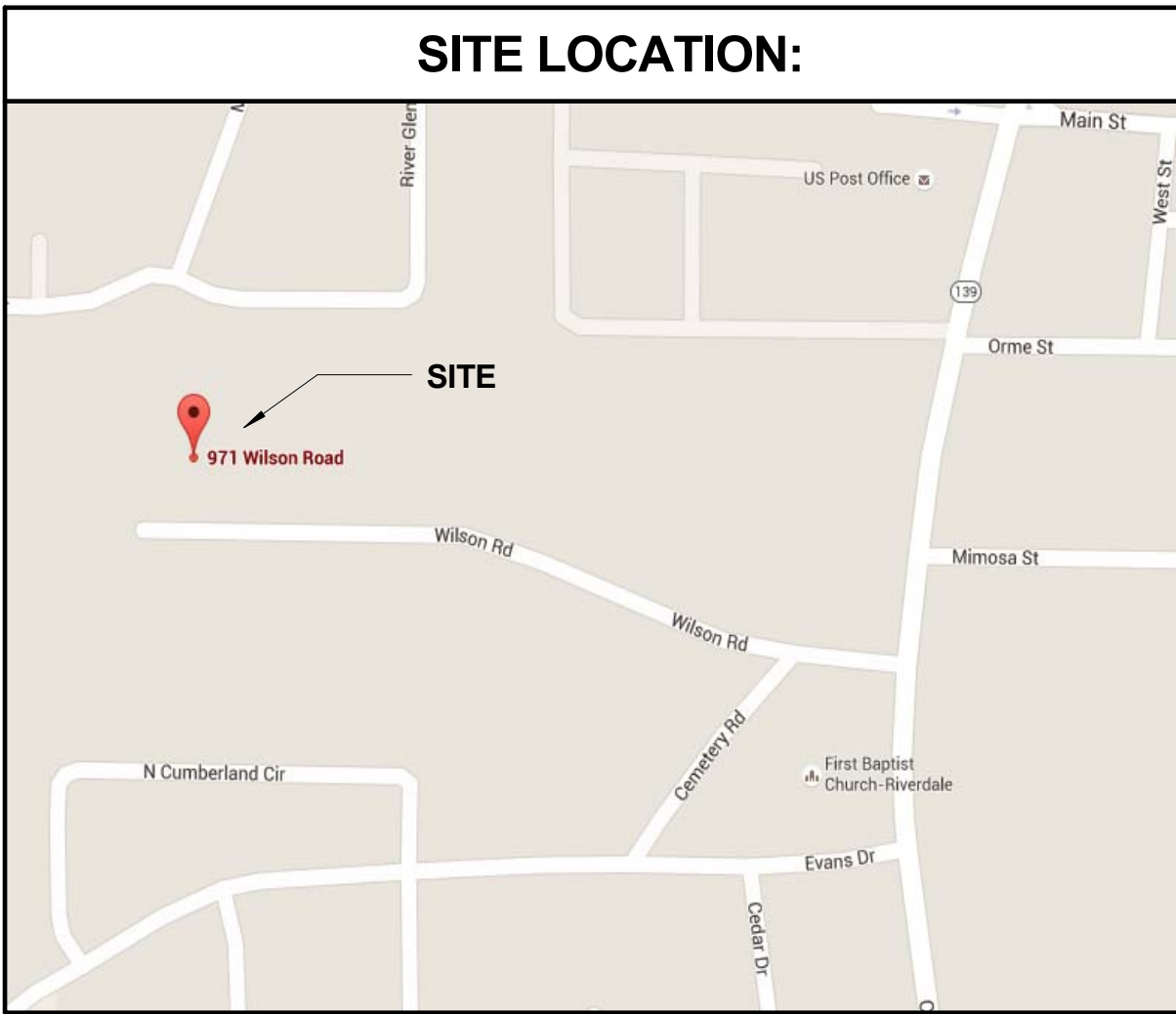
**BROWN DESIGN GROUP, INC.**  
ARCHITECTS \* ENGINEERS \* PLANNERS  
3099 WASHINGTON ROAD \* ATLANTA, GEORGIA 30344  
(404)559-1805 \* FAX (404)761-0020  
[www.thebrowndesigngroup.com](http://www.thebrowndesigngroup.com)

PROJECT SCOPE:	
INTERIOR RENOVATION OF EXISTING OFFICE SPACES AND BUILD-OUT OF 6 NEW OFFICE SPACES ON THE 2ND FLOOR OF THE EXISTING BUILDING.	
PROJECT INFO:	
BUILDING	2012 IBC (W/ 2014 & 2015 AMENDMENTS)
STRUCTURAL	2012 IBC (W/ 2014 & 2015 AMENDMENTS)
MECHANICAL	2012 IMC (W/ 2014 & 2015 AMENDMENTS)
ELECTRICAL	2014 NEC
PLUMBING	2012 IPC (W/ 2014 & 2015 AMENDMENTS)
ACCESSIBILITY	2010 ADAAG (W/ 1997 GA ACCESSIBILITY CODE)
FIRE	2012 IFC (W/ 2014 AMENDMENTS)
LIFE SAFETY	2012 NFPA 101 LIFE SAFETY CODE
ENERGY	2009 IECC (W/ 2011 & 2012 AMENDMENTS)
GAS	2012 IFGC (W/ 2014 AMENDMENTS)

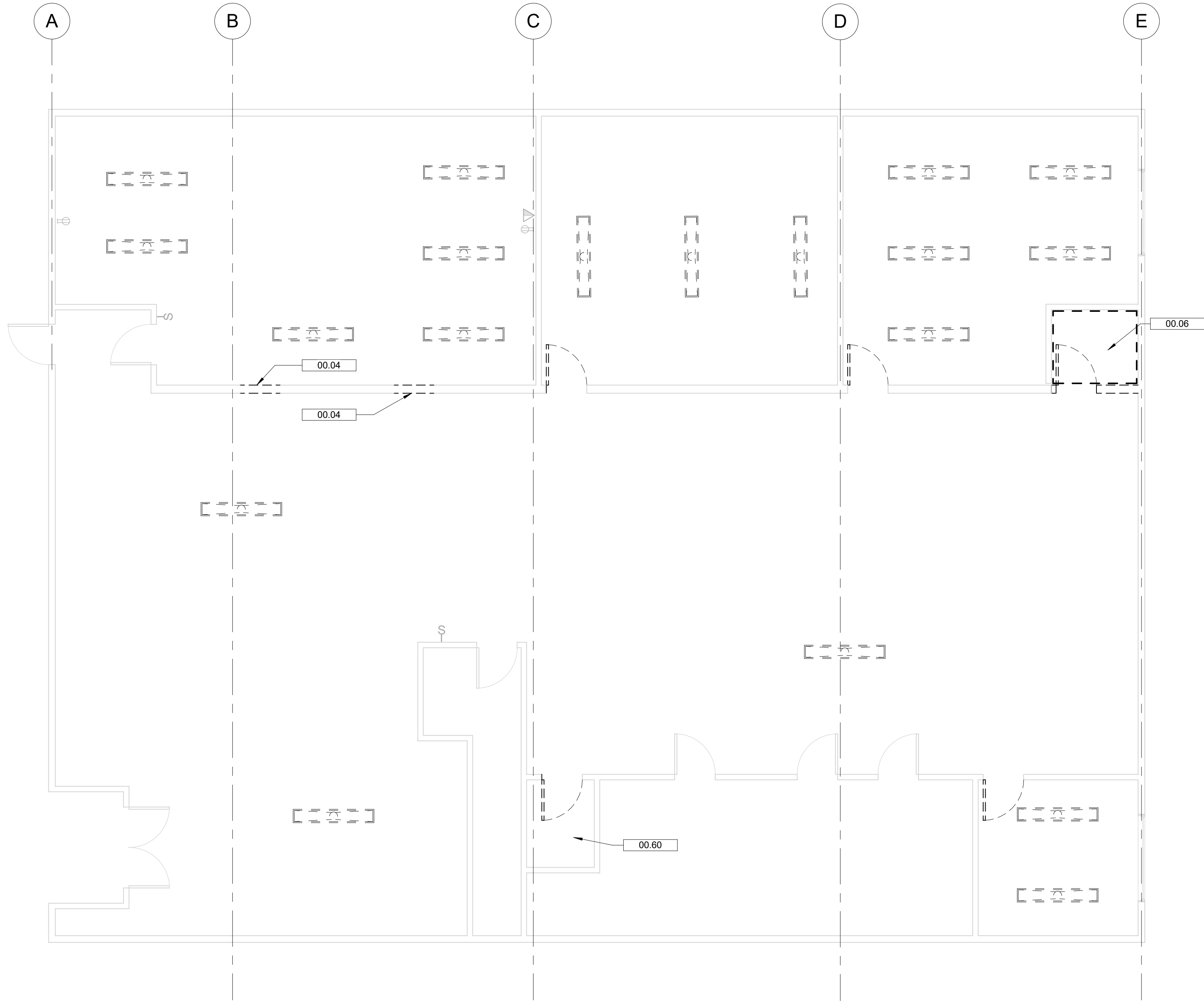
PROJECT CLOSEOUT:
CLOSE OUT DOCUMENTATION:  CONTRACTOR IS REQUIRED TO SUBMIT PROJECT RECORDS, PRODUCT INFO, WARRANTIES AND OTHER DOCUMENTATION IN HARD COPY AND ELECTRONIC FORMAT AS NEEDED FOR PROJECT CLOSEOUT. SPECIFIED SERVICE TO BE UTILIZED FOR ELECTRONIC DATA SUBMITTAL IS "FACILITY DATA TECHNOLOGY." BIDDERS SHALL CONTACT FDT AT <a href="http://www.FDT4Contractors.com">www.FDT4Contractors.com</a> , BY EMAIL AT <a href="mailto:support@FDTech1.com">support@FDTech1.com</a> OR BY CALLING (404) 600-1256 ~ 1-844-FDTech1. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH PREPARATION , UPLOAD & USE OF THE SYSTEM.

PROJECT INFO:	
OWNER:	CITY OF RIVERDALE 7200 CHURCH STREET RIVERDALE, GA 30274 CONTACT: ELLIS STILL (770) 909 - 5472
ARCHITECT:	BROWN DESIGN GROUP, INC. 3099 WASHINGTON ROAD EAST POINT, GA 30344 CONTACT: COY L. COOPER, JR. RA (404) 559 - 1805

LIST OF DRAWINGS	
CVR	COVER SHEET
A0.1	DEMOLITION PLAN
A1.1	NEW WORK - FLOOR PLAN
A1.2	NEW WORK - REFLECTED CEILING PLAN
A3.1	DETAILS & SCHEDULES



GENERAL NOTE:
<ul style="list-style-type: none"><li>CONTRACTOR SHALL VISIT SITE PRIOR TO BID TO FAMILIARIZE HIMSELF WITH THE BUILDING AND ITS CONSTRAINTS.</li><li>INTERPRETATION OF CONFLICTS: SHOULD CONFLICTS OCCUR IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL REQUEST INTERPRETATION BEFORE PROCEEDING WITH THE WORK. ALL SUCH REQUESTS SHALL FIRST BE PRECEDED BY A DILIGENT INVESTIGATION INTO THE CONTRACT DOCUMENTS. EVIDENCE OF SUCH INVESTIGATIONS SHALL BE CONTAINED IN ALL SUCH REQUESTS FOR FAILURE TO CARRY OUT THE WORK IN A SATISFACTORY MANNER. SHOULD CONFLICTS OCCUR IN AND/OR BETWEEN DRAWINGS AND/OR SPECIFICATIONS, THE CONTRACTOR IS DEEMED TO HAVE ESTIMATED ON THE MORE EXPENSIVE WAY OF DOING THE WORK UNLESS HE/SHE SHALL HAVE ASKED FOR, AND OBTAINED WRITTEN INTERPRETATION AND DECISION BEFORE SUBMISSION OF HIS/HER BID. AS TO WHICH MATERIAL AND METHOD WILL BE REQUESTED.</li><li>CONTRACTOR SHALL BE MINDFUL THAT THE OFFICE BUILDING SHALL REMAIN IN OPERATION DURING THE DEMOLITION AND CONSTRUCTION PROCESS.</li><li>CONTRACTOR SHALL PROTECT EXISTING TO REMAIN (EQUIP., FURNITURE, FINISHES ETC.) WITH PROTECTIVE BARRIER.</li><li>CONTRACTOR SHALL KEEP NOISE DURING WORKING HOURS TO A MINIMAL.</li><li>CONTRACTOR SHALL SCHEDULE ALL TIMES WHEN ELECTRICAL SERVICE WILL BE INTERRUPTED.</li><li>CONTRACTOR SHALL COORDINATE ALL WORK WITH OWNERS MECHANICAL &amp; PLUMBING CONTRACTORS AND ALL OTHERS PERFORMING WORK ON BEHALF OF THE OWNER.</li><li>ALL WORK SHALL BE PERFORMED TO CURRENT BUILDING CODES.</li></ul>

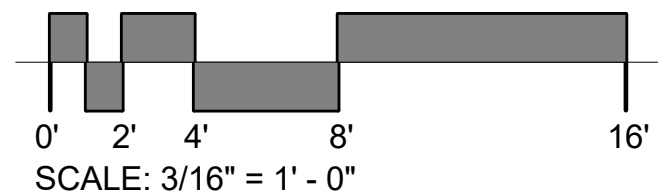


1 DEMOLITION PLANS  
3/16" = 1'-0"

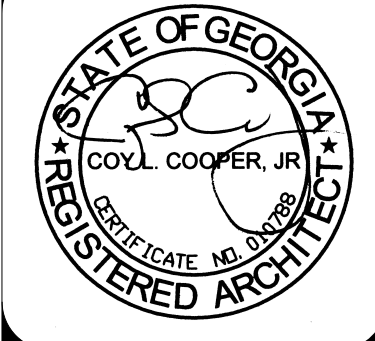
DEMOLITION PLAN LEGEND	
	LIGHT SWITCH
	OUTLET
	PHONE / LAN
	SECTION OF WALL TO BE DEMOLISHED
	DOOR TO BE DEMOLISHED (SALVAGE FOR REINSTALLATION/RELOCATION)
	EXISTING 1X6 FIXTURE SUSPENDED FROM STRUCTURE TO BE DEMOLISHED

SHEET NOTES	
00.04	REMOVE PORTION OF EXISTING WALL, COORDINATE WITH NEW WORK FLOOR PLAN FOR EXTENT.
00.06	REMOVE EXISTING DRYWALL FROM ATOP RESTROOM CEILING/ ROOF STRUCTURE.
00.60	REMOVE EXISTING LIGHT FIXTURE

- GENERAL NOTES**
- VISIT THE PROJECT SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND PROJECT REQUIREMENTS.
  - DEMOLISH SO THAT CONSTRUCTION, NEW AND EXISTING, CAN BE PERFORMED AND COMPLETED IN ACCORDANCE WITH CONSTRUCTION DOCUMENTS.
  - PROTECT WALLS, CEILINGS, FLOORS, AND OTHER EXISTING FINISH WORK THAT ARE TO REMAIN AND ARE EXPOSED DURING SELECTIVE DEMOLITION AND CONSTRUCTION OPERATIONS.
  - PROMPTLY PATCH AND REPAIR HOLES, AND DAMAGED SURFACES CAUSED TO ADJACENT CONSTRUCTION BY SELECTIVE DEMOLITION OPERATIONS.
  - SALVAGE EXISTING METAL DOORS AND DOOR HARDWARE. SELECT DOOR AND HARDWARE ARE FOR REINSTALLATION.



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DEMOLITION PLAN

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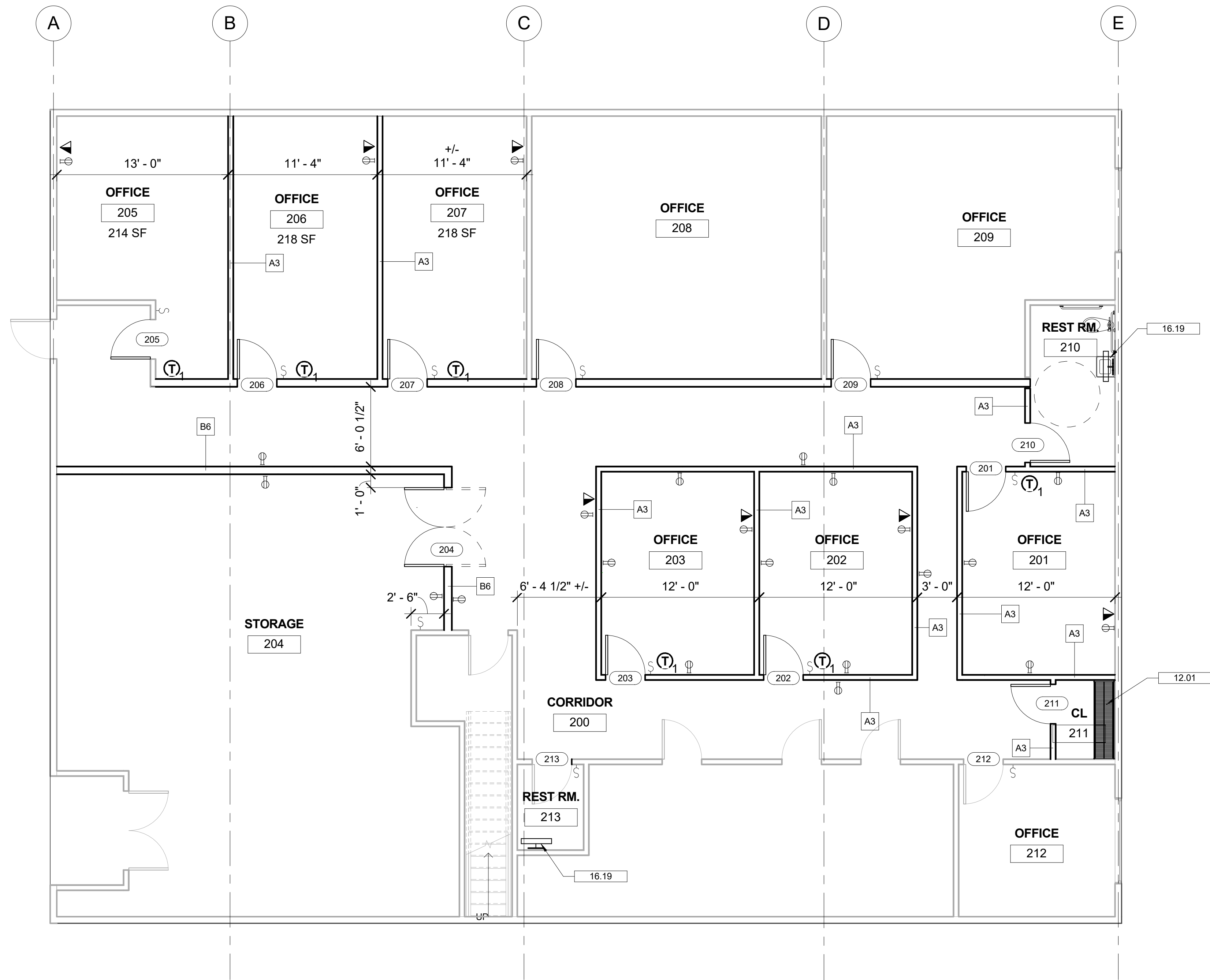
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(O) 404-559-1805 (F) 404-761-0020 (E) THEBROWNDISIGNGROUP.COM

CHECKED:	CC
DRAWN:	MS
SCALE:	As indicated
DWG. DATE:	07/15/16
PRINT DATE:	08/16/16
JOB NO:	B1106-7

SHEET  
**A0.1**

FOR CONSTRUCTION





1 NEW WORK - FLOOR PLAN  
3/16" = 1'-0"

**KEY NOTE:**

12.01 STAINLESS STEEL ADJUSTABLE WIRE  
SHELVING 60"W X 18"D X 72"H X 4 ROWS.

16.19 SURFACE MOUNTED LED LIGHT FIXTURE -  
LITHONIA LIGHTING "FMVTSL 24IN MVOLT 30K  
90CRI BN" OR APPROVED EQUAL

**PARTITION LEGEND**

**DETAIL:** DETAIL SHEET

**PLAN:** LETTER INDICATES PARTITION TYPE NUMBER INDICATES STUD HEIGHT NO NUMBER INDICATES WALLS END 6" ABOVE CEILING UNLESS NOTED OTHERWISE, CONTINUE ALL RATED WALLS TO BOTTOM OF DECK

REFERENCE SIDE OPPOSITE SIDE NUMBER INDICATES STUD SIZE AS FOLLOWS:

1 - 1 5/8" METAL	8 - 8" METAL
2 - 2 1/2" METAL	D6 - 6" CMU
3 - 3 5/8" METAL	D8 - 8" CMU
6 - 6" METAL	D12 - 12" CMU

FIRE RATED WALL  
UL DES # U905 FOR 2 HR CMU  
UL DES # U491 FOR 2 HR METAL STUD

**SHEET LEGEND**

A WALL PARTITION TAG

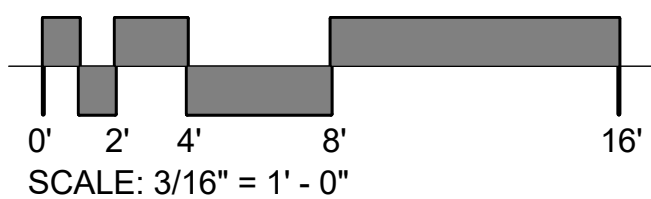
PHONE / LAN

DUPLEX OUTLET

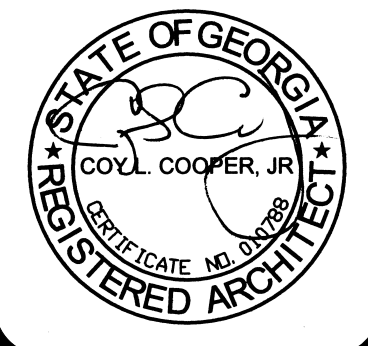
S LIGHT SWITCH

T THERMOSTAT

- GENERAL NOTES**
- VISIT THE PROJECT SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND PROJECT REQUIREMENTS.
  - DEMOLISH SO THAT CONSTRUCTION, NEW AND EXISTING, CAN BE PERFORMED AND COMPLETED IN ACCORDANCE WITH CONSTRUCTION DOCUMENTS.
  - PROTECT WALLS, CEILINGS, FLOORS, AND OTHER EXISTING FINISH WORK THAT ARE TO REMAIN AND ARE EXPOSED DURING SELECTIVE DEMOLITION AND CONSTRUCTION OPERATIONS.
  - PROMPTLY PATCH AND REPAIR HOLES, AND DAMAGED SURFACES CAUSED TO ADJACENT CONSTRUCTION BY SELECTIVE DEMOLITION OPERATIONS.
  - CONSTRUCTION OF ALL NEW WALLS ARE TO BE ALIGNED AND FLUSH WITH EXISTING WALLS AND HAVE CLEAN SEAMLESS TRANSITIONS. WALL FINISH AND BASE TO MATCH EXISTING CONDITIONS.



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NEW WORK - FLOOR PLAN

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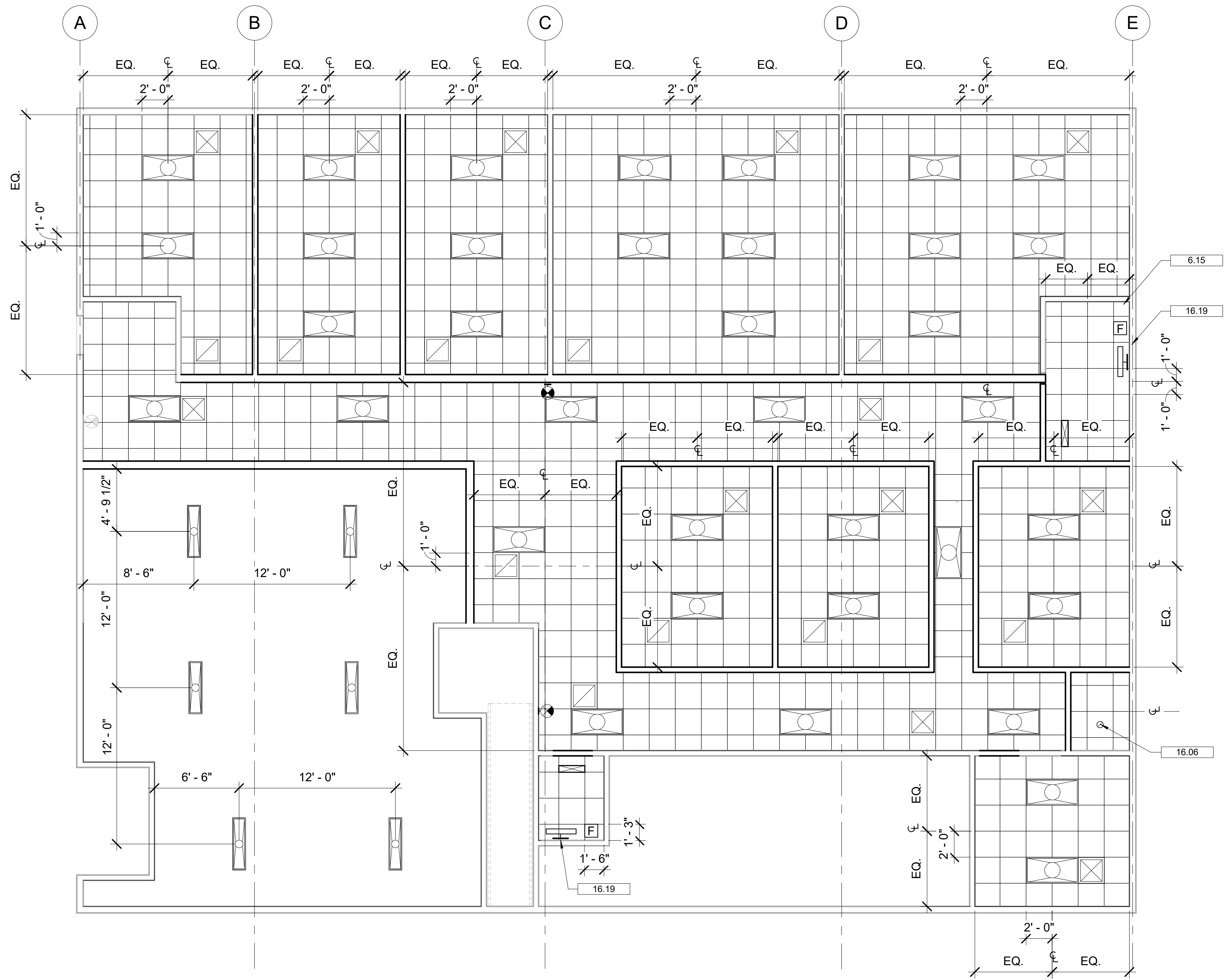
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SHEET  
**A1.1**

FOR CONSTRUCTION

② NEW WORK - REFLECTED CEILING PLAN  
3/16" = 1'-0"



KEY NOTE:

- 6.15 INSTALL TOUNGE AND GROOVE 5/4" PLYWOOD SUBFLOORING ON TOP OF RESTROOM CEILING/ROOF.
- 16.06 RECESSED 4" LED CAN FIXTURE.
- 16.19 SURFACE MOUNTED LED LIGHT FIXTURE - LITHONIA LIGHTING "FMTSL 24IN MVOLT 30K 90CRI BN" OR APPROVED EQUAL

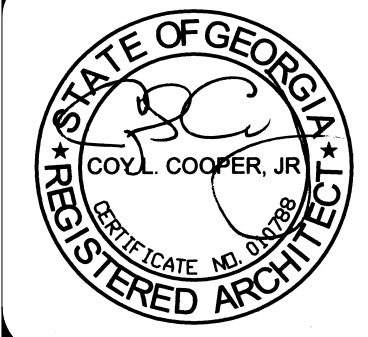
REFLECTED CEILING PLAN LEGEND

- 1'x4' 2 TUBE LED LIGHT FIXTURE SUSPENDED FROM STRUCTURE ABOVE (LITHONIA LIGHTING "IBH SD080 MB MVOLT OZ1040K 70CRI WH" - OR APPROVED EQUAL)
- 2'x4' LED LIGHT FIXTURE (LITHONIA LIGHTING "2TL4 60L RW A19 EZ1 LP850" - OR APPROVED EQUAL)
- 4' LED CAN
- SUPPLY AIR GRILLE
- RETURN AIR GRILLE
- 2X2 SUSPENDED CEILING GRID SYSTEM (ARMSTRONG "PRELUDE" - OR APPROVED EQUAL)
- CEILING VENT/FAN
- WALL MOUNTED VANITY FIXTURE
- EXIT LIGHT FIXTURE

GENERAL NOTES

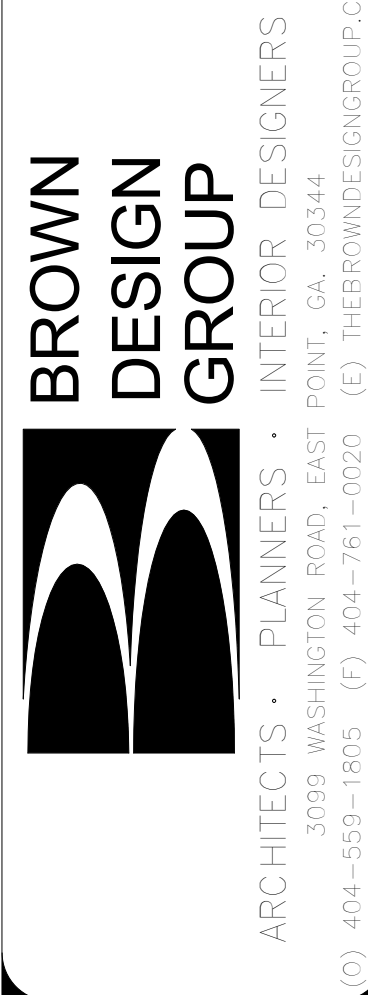
- VISIT THE PROJECT SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND PROJECT REQUIREMENTS.
- PROMPTLY PATCH AND REPAIR HOLES, AND DAMAGED SURFACES CAUSED TO ADJACENT CONSTRUCTION BY SELECTIVE DEMOLITION OPERATIONS.
- CONTRACTOR SHALL INSTALL HVAC SUPPLY AND RETURN REGISTERS ONLY. HVAC DUCTWORK, UNIT AND CONNECTIONS ARE BY OTHERS AND N.I.C.
- EXISTING ELECTRICAL DEVICE AND EQUIPMENT, NOT SHOWN ON DRAWINGS ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.
- USE EXISTING ELECTRICAL RUNS TO PANEL BOX FOR EXISTING OFFICES WHEN POSSIBLE.
- CONTRACTOR SHALL RELOCATE AND RE-CONNECT FIRE ALARM AND COMMUNICATION DEVICES NOT SHOWN ON DRAWINGS TO BELOW NEW CEILING. CONTRACTOR SHALL PROVIDE TEST TO CONFIRM THAT DEVICES ARE OPERATING AS REQUIRED AND REPAIR AND/OR REPLACE DEVICES THAT ARE INOPERABLE.

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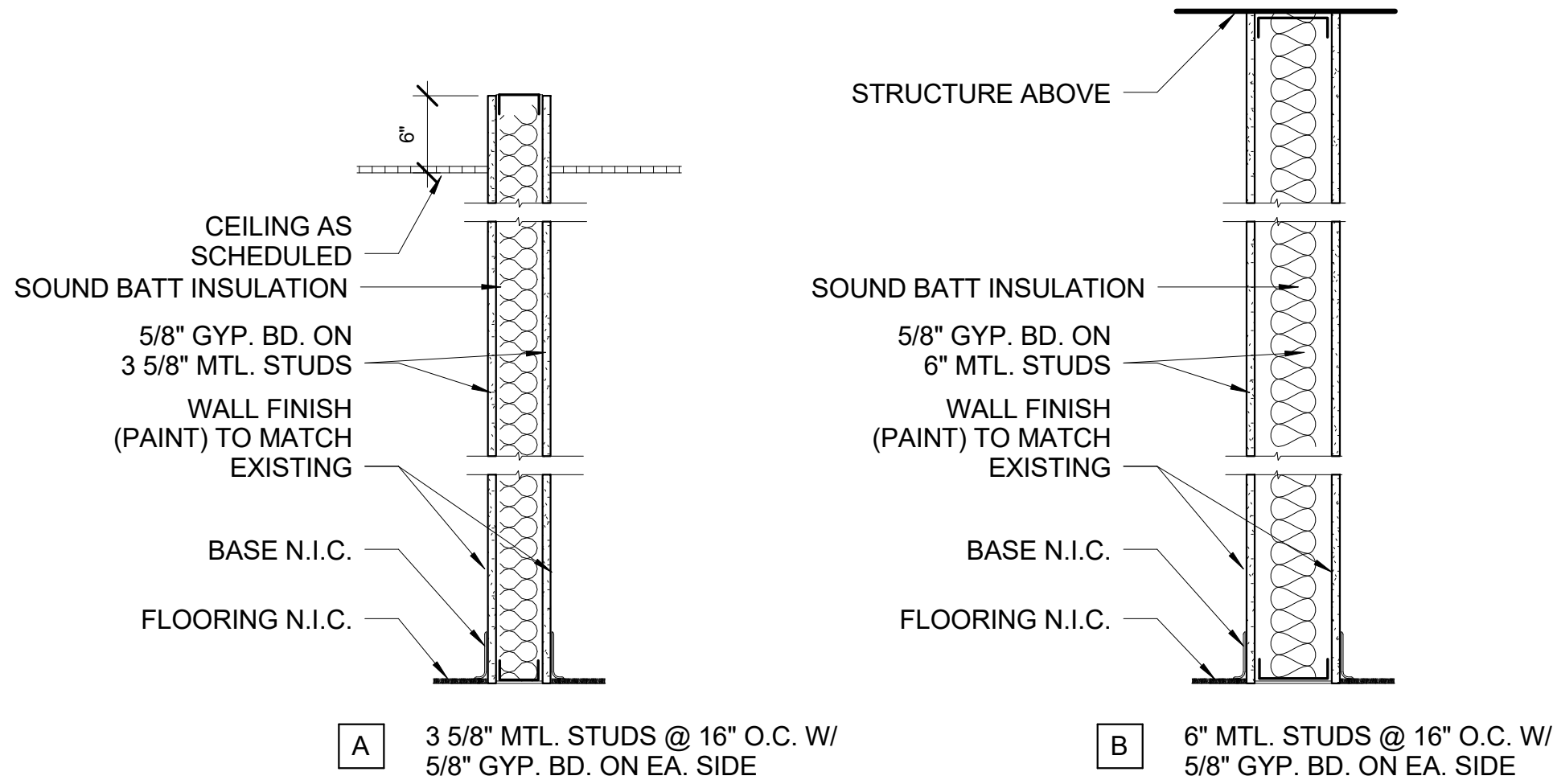
NEW WORK - REFLECTED CEILING  
PLAN

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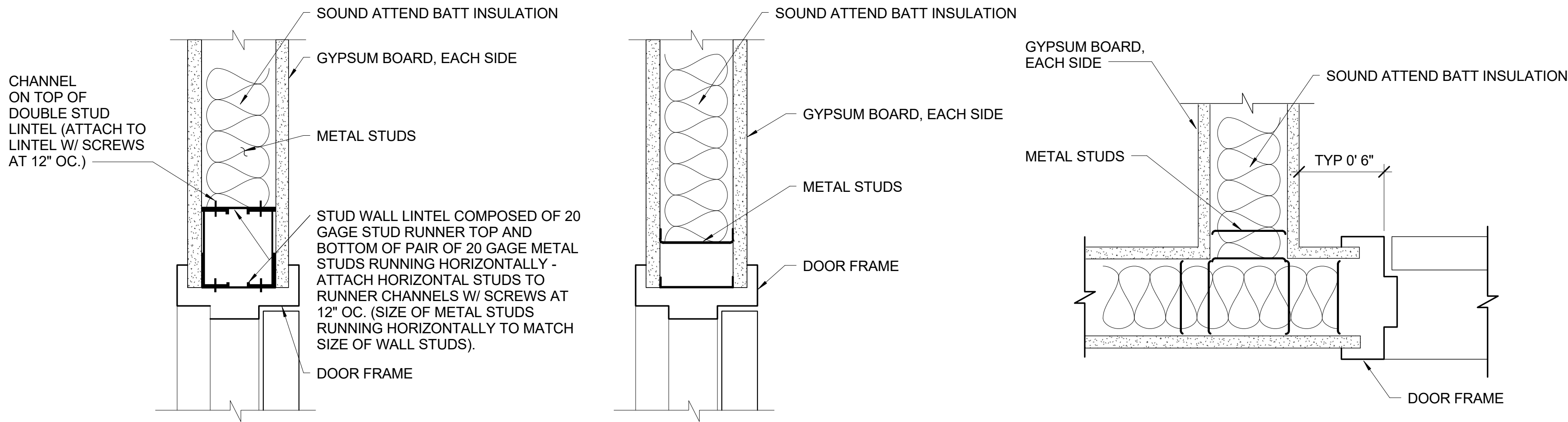
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SHEET  
A1.2



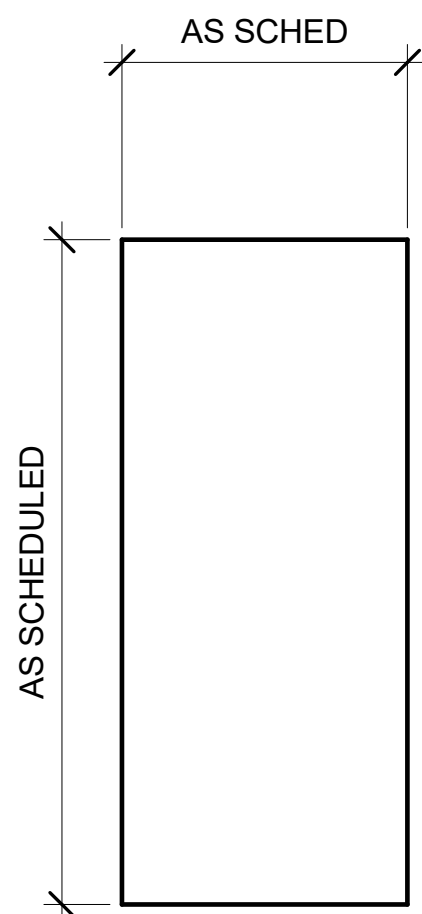
WALL TYPES

1" = 1' - 0"



DOOR HEAD DETAIL

NOT TO SCALE



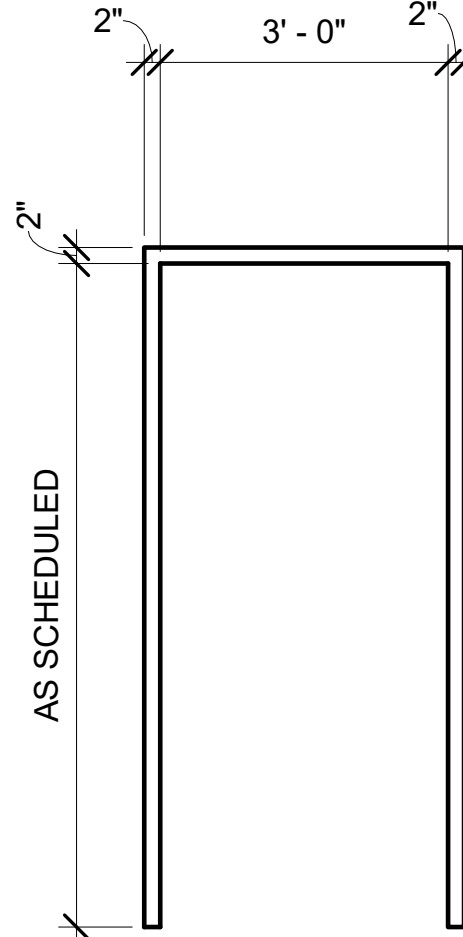
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DOOR TYPES

NOT TO SCALE

DOOR JAMB DETAIL

NOT TO SCALE



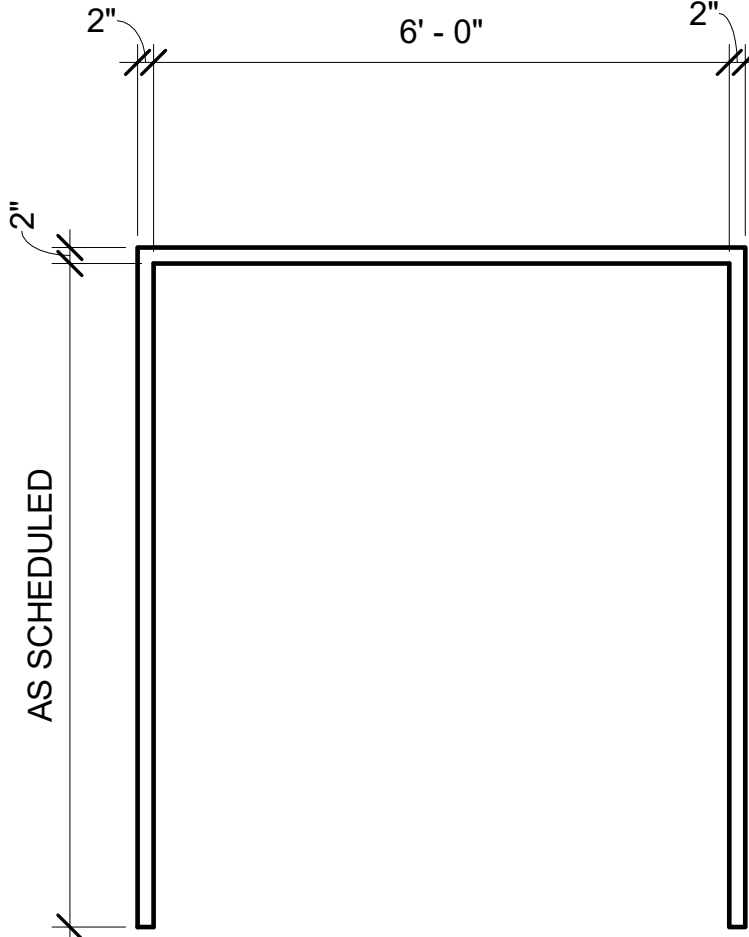
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DOOR FRAME TYPES

NOT TO SCALE

DOOR JAMB DETAIL

NOT TO SCALE



B

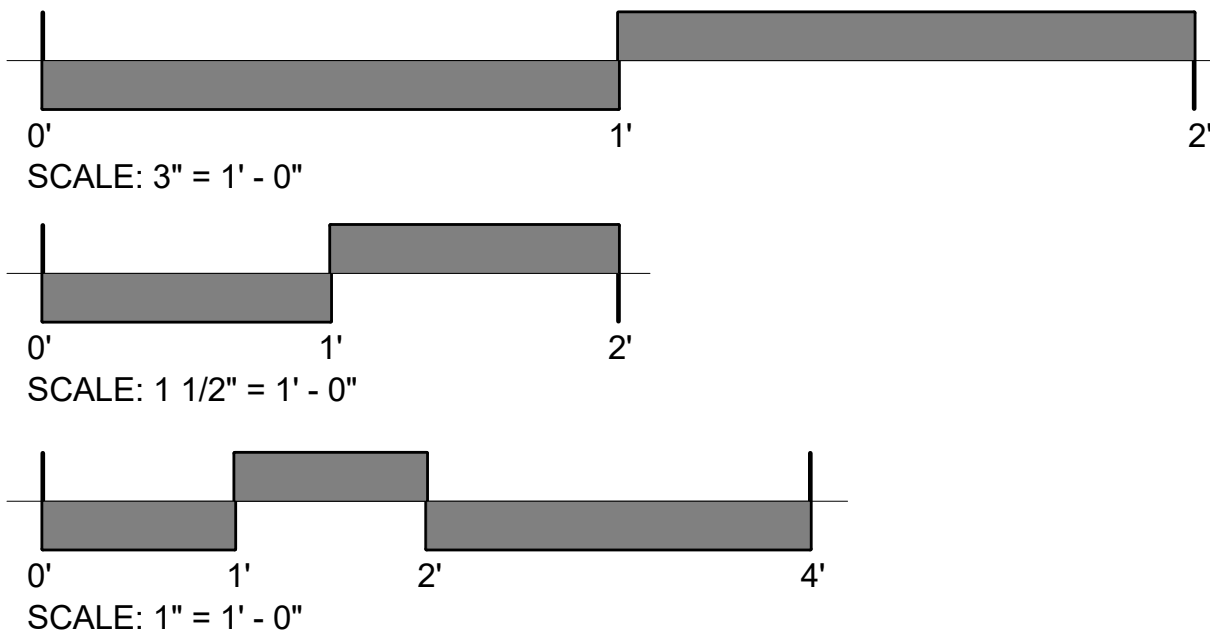
ROOM FINISH SCHEDULE							
Number	Name	Floor Finish	Wall Finish	Base Finish	Ceiling Height	Ceiling Finish	Comments
200	CORRIDOR	N.I.C	PAINT	N.I.C.	8' - 6"	ACT	
201	OFFICE	N.I.C	PAINT	N.I.C.	8' - 6"	ACT	
202	OFFICE	N.I.C	PAINT	N.I.C.	8' - 6"	ACT	
203	OFFICE	N.I.C	PAINT	N.I.C.	8' - 6"	ACT	
204	STORAGE	N.I.C	PAINT	N.I.C.		NONE	CEILING OPEN TO STRUCTURE ABOVE
205	OFFICE	N.I.C	PAINT	N.I.C.	8' - 6"	ACT	
206	OFFICE	N.I.C	PAINT	N.I.C.	8' - 6"	ACT	
207	OFFICE	N.I.C	PAINT	N.I.C.	8' - 6"	ACT	
208	OFFICE	N.I.C	PAINT	N.I.C.	8' - 6"	ACT	
209	OFFICE	N.I.C	PAINT	N.I.C.	8' - 6"	ACT	
210	REST RM.	N.I.C	PAINT	N.I.C.	8' - 6"	ACT	
211	CL	N.I.C				ACT	
212	OFFICE	N.I.C	PAINT	N.I.C.	8' - 6"	ACT	
213	REST RM.	N.I.C	PAINT	N.I.C.	8' - 6"	ACT	

**FINISH NOTES:**

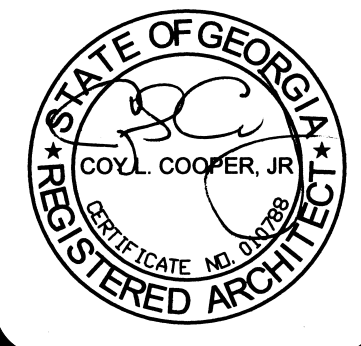
- CONTRACTOR SHALL MAINTAIN A CLEAN AND SAFE CONSTRUCTION SITE.
- CONTRACTOR SHALL LEAVE THE CONSTRUCTION AREA CLEAN AND FREE FROM DEBRIS.
- CONTRACTOR SHALL COORDINATE ALL FINISHES ( MANUFACTURE, COLOR, FINISH etc) WITH OWNERS REPRESENTATIVE.

DOOR SCHEDULE									
wtwt	WIDTH	HEIGHT	TYPE	CONSTRUCTION	FINISH	FRAME TYPE	HARDWARE	COMMENTS	
201	3' - 0"	6' - 8"		SCW -1 HR					
202	3' - 0"	6' - 8"	1	SCW -1 HR	STAIN & POLY	A	NOTE #2	NOTE #1, 3, & 5	
203	3' - 0"	6' - 8"	1	SCW -1 HR	STAIN & POLY	A	NOTE #2	NOTE #1, 3, & 5	
204	6' - 0"	6' - 8"	1	METAL-1 HR	PAINT	B	NOTE #2	NOTE #1, 3,	
206	3' - 0"	6' - 8"	1	SCW -1 HR	STAIN & POLY	A	NOTE #2	NOTE #1	
207	3' - 0"	6' - 8"	1	SCW -1 HR	STAIN & POLY	A	NOTE #2	NOTE #1	
208	3' - 0"	6' - 8"	1	SCW -1 HR	STAIN & POLY	A	NOTE #4	NOTE #1	
209	3' - 0"	6' - 8"	1	SCW -1 HR	STAIN & POLY	A	NOTE #4,7	NOTE #1	
210	3' - 0"	6' - 8"	1	SCW -1 HR	STAIN & POLY	A	NOTE #4,7	NOTE #1	
211	3' - 0"	6' - 8"	1	SCW -1 HR	STAIN & POLY	A	NOTE #4,7	NOTE #1	
212	3' - 0"	6' - 8"	1	SCW -1 HR	STAIN & POLY	A	NOTE #4,7	NOTE #1	
213	3' - 0"	6' - 8"	1	SCW -1 HR	STAIN & POLY	A	NOTE #4,7	NOTE #1	

- DOOR NOTES**
- NEW DOOR AND FRAME FINISH SHALL MATCH EXISTING ADJACENT.
  - NEW DOOR HARDWARE SHALL MATCH EXISTING MODEL, COLOR, AND MANUFACTURER.
  - NEW LOCKS SHALL HAVE REMOVABLE CORE TO BE KEYPED BY OWNER.
  - EXISTING CORE SHALL BE RECEIVED BY OWNER.
  - NEW DOORS SHALL BE STAINED AND POLY.
  - REINSTALL SALVAGED METAL DOOR & HARDWARE.
  - REINSTALL SALVAGED DOOR HARDWARE.



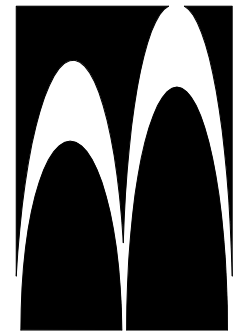
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DETAILS & SCHEDULES

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